



DEVELOPMENT PERMIT NO. DP001132

927199 BC LTD

Name of Owner(s) of Land (Permittee)

4474 WELLINGTON ROAD

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 8, SECTION 5, WELLINGTON DISTRICT, PLAN 18939
PID No. 002-344-360**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan
Schedule B Site Plans
Schedule C Building Elevations
Schedule D Landscape Plans**

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

5. City of Nanaimo "Zoning Bylaw 2011 No. 4500" is varied as follows:
 - *Section 9.5.1 Siting of Buildings* – to reduce the minimum rear yard setback from 7.5m to 3.18m.
 - *Section 9.6.1 Location of Parking Area* – to allow off-street parking between the front property line and the front face of the building.
 - *Section 9.7.1 Size of Buildings* – to increase the maximum allowable building height from 14m to 14.15m.
 - *Section 17.3.4 Refuse Receptacles* – to reduce the minimum setback for a dumpster or container from any lot line adjoining a property zoned for residential use from 3m to 0m.

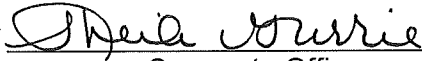
6. City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:
 - *Section 4.4(i) Location of Parking* – to allow off-street parking on that part of the lot lying to the front of the front line of the building.
 - *Section 6.3(i) Dimensions and Design of Loading Spaces* – to reduce the dimensions of a loading space from 10m in length and 3m in width to 5.8m in length and 2.75m in width.

CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plans prepared by D-Architecture, dated 2019-NOV-12, as shown on Schedule B.
2. The development is developed in substantial compliance with the Building Elevations prepared by D-Architecture, dated 2019-NOV-12, as shown on Schedule C.
3. The subject property is developed in substantial compliance with the Landscape Plans prepared by Mystic Woods Landscape Design, dated 2019-SEP-05, as shown on Schedule D.
4. A 4.25m-wide statutory right-of-way to replace the existing 3m-wide statutory right-of-way is registered on the subject property prior to building occupancy (generally as shown on Schedule B).

5. In accordance with the City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" section 7.3(i), a minimum of 80% of the parking stalls shall remain unassigned and accessible to employees, customers, and residents.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 2ND DAY OF DECEMBER, 2019.



Corporate Officer



Date

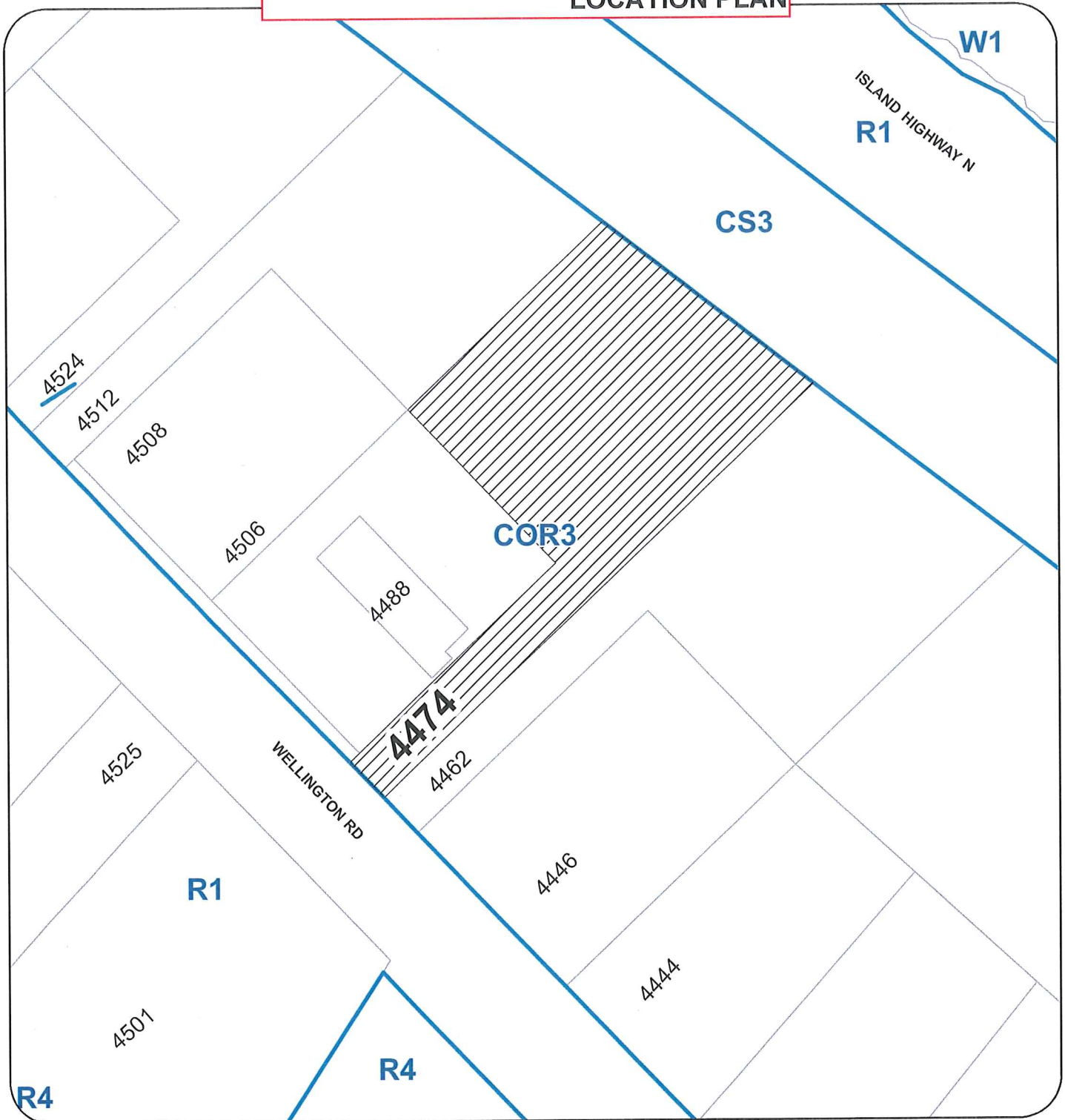
LN/ln

Prospero attachment: DP001132

Development Permit DP001132
4474 Wellington Road

Schedule A

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001132

LOCATION PLAN

Civic: 4474 WELLINGTON ROAD

Legal: LOT 8, SECTION 5, WELLINGTON DISTRICT, PLAN 18939



Subject Property

BUILDING ELEVATIONS



EAST ELEVATIONS

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DP1132
2019-NOV-12
Current Planning

NOTES

1. All dimensions are in meters unless otherwise specified.
2. All elevations are shown in black lines.
3. All elevations are shown in black lines.
4. All elevations are shown in black lines.
5. All elevations are shown in black lines.
6. All elevations are shown in black lines.
7. All elevations are shown in black lines.
8. All elevations are shown in black lines.
9. All elevations are shown in black lines.
10. All elevations are shown in black lines.

NO.	DATE	REVISIONS



D-ARCHITECTURE
6377 HANCOCK DRIVE, NANAIMO, BC V9V 1N4
T: 250-923-1991, E: FIRDOUSI@D-ARCH.COM
DARYOUSH FIRDOUSI ARCHITECTURE INC.

PRELIMINARY

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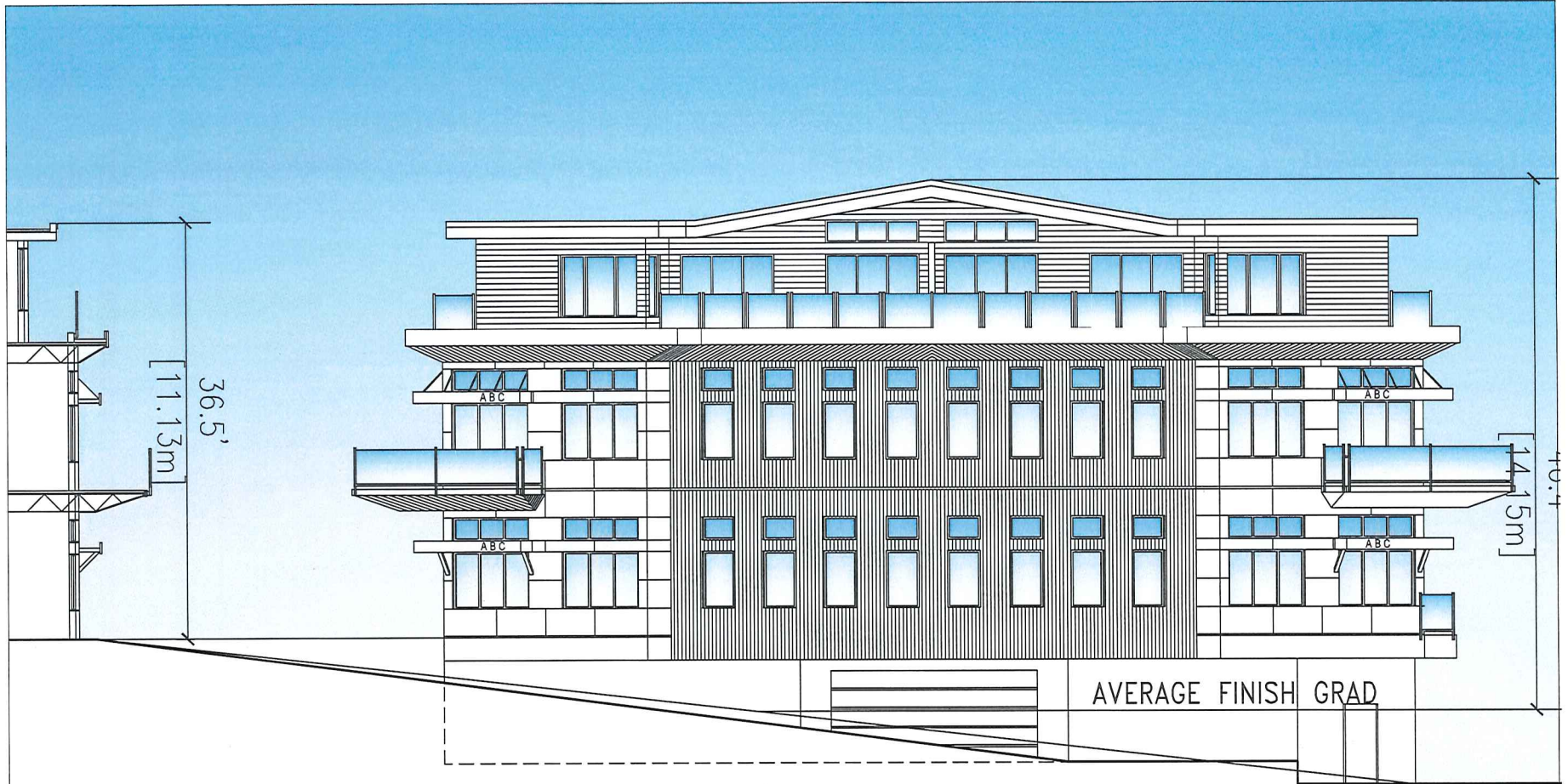
SCALE	
DATE	12 NOV 19

PROJECT	LONG LAKE BUSINESS CENTRE
ADDRESS	4474 WELLINGTON ROAD NANAIMO, BC

CLIENT	0927199 BC LTD.
PROJECT NO.	2859

ELEVATIONS

A3.1



SOUTH ELEVATIONS

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DP1132
 2019-NOV-12
 Current Planning

NOTES
 1. This drawing is a preliminary drawing and is not for construction.
 2. All dimensions are in metric units unless otherwise specified.
 3. The client is responsible for providing accurate site information.
 4. The architect is not responsible for any errors or omissions in this drawing.
 5. This drawing is the property of the architect and shall remain confidential.

REV.	DATE	DESCRIPTION



PRELIMINARY
 D-ARCHITECTURE
 6377 IGARUS DRIVE, NANAIMO, BC V9Y 1M4
 T: 250-923-1991, F: 250-923-1991, E: INFO@D-ARCH.COM
 DARYOUSH FIRDOUZI ARCHITECTURE INC.

SCALE

CONSTRUCTION LINE

DATE
 12 NOV 19

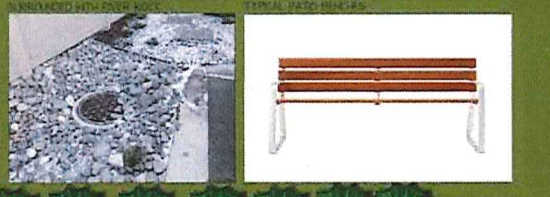
PROJECT
 LONG LAKE BUSINESS CENTRE
 4474 WELLINGTON ROAD
 NANAIMO, BC

CLIENT
 0927199 BC LTD.
 PROJECT NO.
 2859

PROJECT TITLE
 ELEVATIONS

SHEET NO.
A3.4

LANDSCAPE PLAN



DC LANDSCAPE STANDARDS

All construction to meet the requirements set out in the DC Landscape Standards, 2015 edition prepared by the DC Society of Landscape Architects and the DC Landscape and Nursery Association, are available through the DC Urban Office at 1-800-574-2772.

Contractor to consult with designer regarding any discrepancies.

Contractor to consult with designer if plant substitutions are required due to availability.

Contractor is responsible for obtaining written confirmation of utility locations prior to commencing digging.

Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from installation of landscape.

Refer to landscape specifications supplied with this plan. If you did not receive the specifications, please contact the designer.

TOP SOIL REQUIREMENTS

Minimum depth for street beds: 45mm (1 7/8")

Minimum depth for grass/soil: 45mm (1 7/8")

Minimum depth for mulch: 45mm (1 7/8")

PROJECT: LONG LAKE BUSINESS CENTRE
17400 174th Avenue, Richmond, BC, Canada V6V 1K7

CLIENT: SPINNEY DC LTD
17400 174th Avenue, Richmond, BC, Canada V6V 1K7

ARCHITECT: DARYNENH PRODUK ARCHITECTURE INC.
17400 174th Avenue, Richmond, BC, Canada V6V 1K7

LANDSCAPE DESIGNER: PHYLLIS HODGINS
LANDSCAPE DESIGN
4137 Gordon Rd
Campbell River, BC, V9M 1T5
phone: 250-294-0327
cell phone: 250-297-0640
daryn@mydarynenh.com

DESIGNER: Corinne Peterson CLC, HT
Certified Landscape Designer
Horticulture Technician
Member of the IFLORA / CMA

RECEIVED
DP1132
2019-SEP-16
Landscape Planning

SCALE: 1:100

DATE: November 22, 2018

Issued for: Nov. 26, 2018 For review

Issued for: Jan. 2, 2019 For review

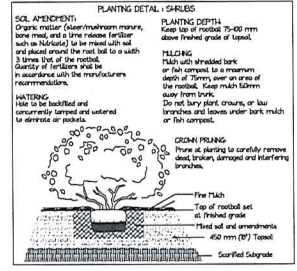
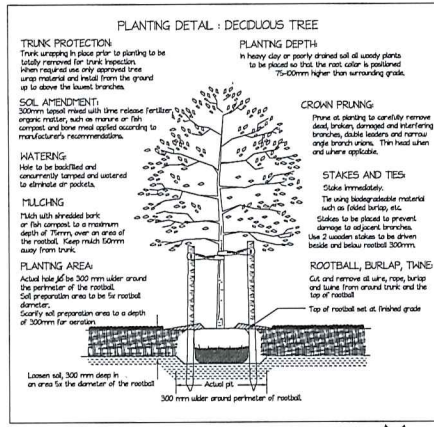
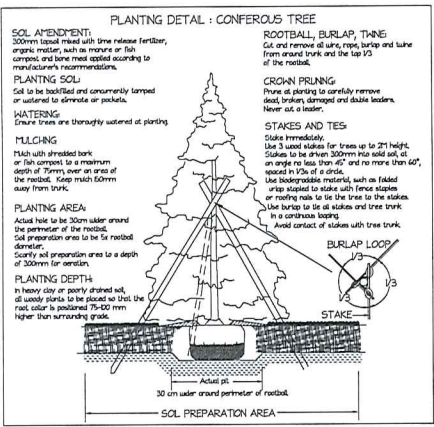
Issued for: Apr. 2, 2019 For review

Issued for: March 1, 2019 For Development Permit

Issued for: Sept. 16, 2019 For Development Permit

DRAWING: LSC/CP/2019/04/16

DRAWING #: 1000



BC LANDSCAPE STANDARDS

All construction to meet the requirements as set out in the BC Landscape Standards, 2012 edition, prepared by the BC Society of Landscape Architects and the BC Landscape and Nursery Association jointly. Copies of the BC Landscape Standards are available through the BC LNA office at 1-800-574-7172.

Contractor to consult with designer regarding any discrepancies.

Contractor to consult with designer if plant substitutions are required due to availability.

Contractor is responsible for obtaining written confirmation of utility locations prior to commencing dig.

Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from acceptance of landscape.

Refer to landscape specifications supplied with this plan.

If you did not receive the specifications, please contact the designer.

TOP SOIL REQUIREMENTS

Minimum depth for shrub beds 450mm (8")
Minimum depth for groundcover 150mm (6")
Trees as per detail on these drawings.
Minimum depth for mulch 60-75mm (2.5-3")

LANDSCAPE AREA

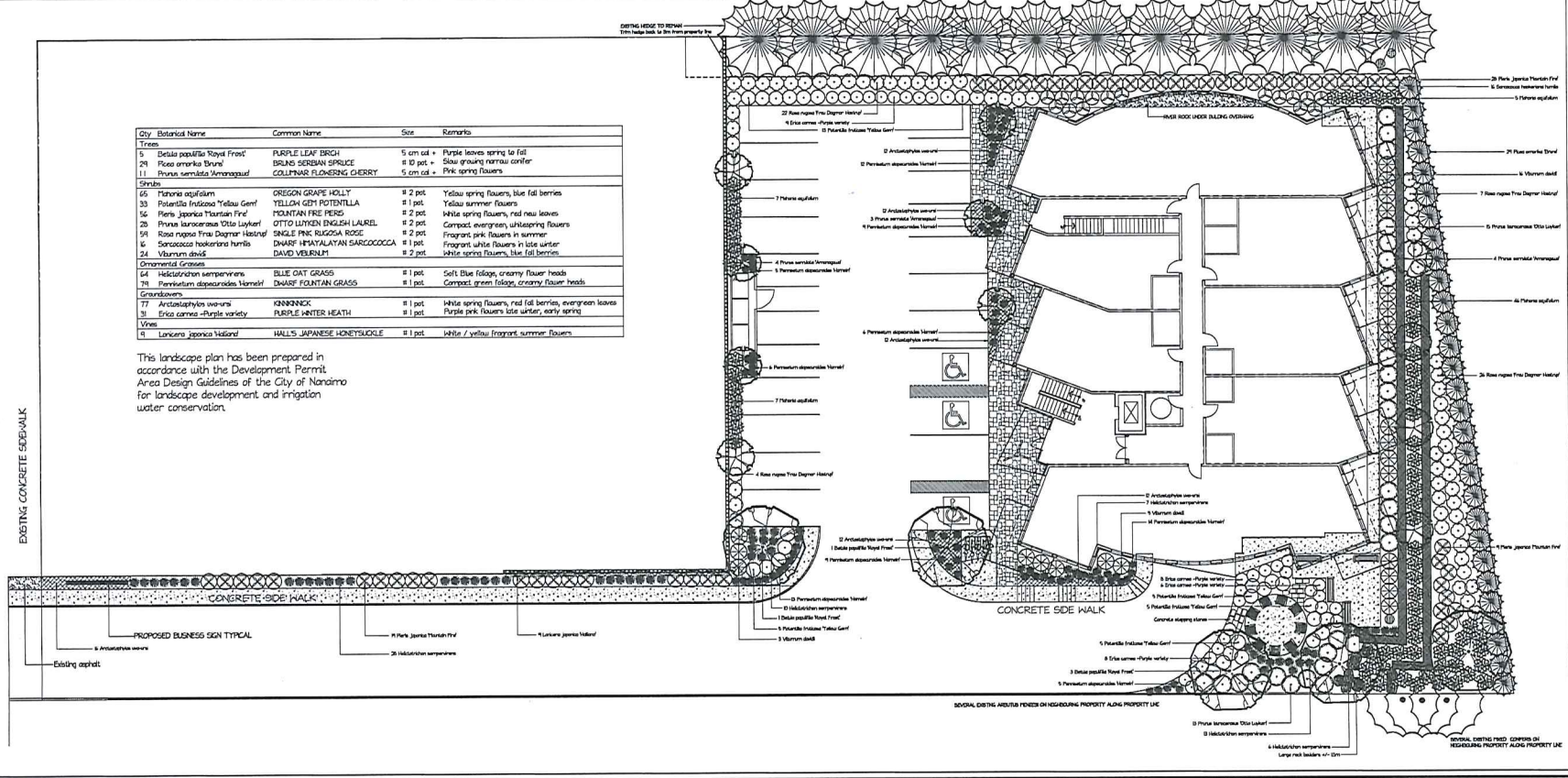
TREES/SHRUB AREA	5688 sqm	623 sq ft
RIVER ROCK AREA	1225 sqm	132 sq ft
PATIO AREA	4071 sqm	438 sq ft
LANDSCAPE AREA	62237 sqm	6699 sq ft

FENCE = 9033m



Qty	Botanical Name	Common Name	Size	Remarks
Trees				
5	Delonix regia 'Royal Frost'	PURPLE LEAF BIRCH	5 cm cal +	Purple leaves spring to fall
20	Rosa arvensis 'Brune'	BURNS SEEBIAN SPRUCE	10 pt +	Slow growing narrow conifer
11	Prunus serrulata 'Moyanagata'	COLUMBIAN FLOWERING CHERRY	5 cm cal +	Pink spring flowers
Shrubs				
66	Hedera aquifolium	OREGON GRAPE HOLLY	1/2 pt.	Yellow spring flowers, blue fall berries
33	Potentilla fruticosa 'Yellow Gem'	YELLOW GEM POTENTILLA	1/2 pt.	Yellow summer flowers
56	Pieris japonica 'Hortensia Fire'	FOUNTAIN FIRE SPIRE	2 pt.	White spring flowers, red new leaves
20	Prunus laurocerasus 'Otto Luyken'	OTTO LUYKEN ENGLISH LAUREL	2 pt.	Compact, evergreen, white spring flowers
50	Rosa rugosa 'Fru Dagmar Haldrup'	SINGLE PINK ROSE	2 pt.	Fragrant, pink flowers in summer
16	Sarcococca hookeriana 'humb'	DAWAR HIMALAYAN SARCOCOCOA	1 pt.	Fragrant white flowers in late winter
24	Viburnum chinensis	DAVID VEILINUM	2 pt.	White spring flowers, blue fall berries
Ornamental Grasses				
24	Holcus lanatus 'perpetuum'	BILLY GOAT GRASS	1 pt.	Soft blue foliage, creamy flower heads
70	Hieracium apicoides 'harmel'	DAWAR FOUNTAIN GRASS	1 pt.	Compact green foliage, creamy flower heads
Groundcovers				
77	Arctostaphylos uva-ursi	MANIKIN	1 pt.	White spring flowers, red fall berries, evergreen leaves
31	Erica carnea -Purple variety	PURPLE CENTER HEATH	1 pt.	Purple pink flowers late winter, early spring
Vines				
15	Lonicera japonica 'Holland'	HOLLAND JAPANESE HONEYSUCKLE	1 pt.	White / yellow fragrant summer flowers

This landscape plan has been prepared in accordance with the Development Permit Area Design Guidelines of the City of Nanaimo for landscape development and irrigation water conservation.



PROJECT: LONG LAKE BUSINESS CENTRE
Plant Use (Office, Residential)
Site address: 4737 Gordon Rd, Nanaimo
Legal address: Lot 6, Plan BPP, Section 5, Haliburton District

CLIENT: OZTERR BC LTD.
Techfield Contracting Ltd.
c/o Wayne Peck
14100 Techfield Court
250-758-6990

ARCHITECT: DARTMOUTH FROZELL ARCHITECTURE INC.
481 PRESTON RD TEL: (250) 865-196
NANAIMO, BC V9X 1K3 END PROJECT/INVOICE

LANDSCAPE DESIGNER: MYSTIC HODDS
LANDSCAPE DESIGN
4737 Gordon Rd
Nanaimo, BC V9X 1T3
phone: 250-256-8277
cell phone: 250-287-0160
design@mysticwoods.ca

DRAWN BY: Corinne Fishson CLD, HT
Certified Landscape Designer
Horticultural Technician
Member of the BC LNA / CMAA

RECEIVED
DP1132
2019-SEP-16

SCALE: 1:50

DATES: November 22, 2018
Issued for Nov. 26, 2018 For review
Issued for Jan 12, 2019 For review
Issued for Feb 1, 2019 For review
Issued for March 1, 2019 For Development Permit
Issued for Sept 5, 2019 For Development Permit

DRAWING: LANDSCAPE PLANT PLAN
DRAWING #: L2 of 3

LANDSCAPE DIVISION PLAN

- SCOPE OF WORK**
 Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:
1. Site Preparation
 2. Final grading and landscape drainage
 3. Installation of underground irrigation system
 4. Supply and placement of growing medium
 5. Testing growing medium and supply of additives (fertilizers) to meet requirements of soil test, and B.C. Landscape Standards
 6. Preparation of planting beds, supply of plant material and staking
 7. Supply and placement of fine compost, mulch on plant beds
 8. Preparation, supply and placement of rock, boulders, and river rock
 9. Establishment, Maintenance for one year
 10. Other work required to complete landscape
 11. Leave site completely clean and tidy

See Call drawings for landscape drainage and grading.
 All concrete work, walls and fence by others

GRAVING AND DRAINAGE

The preparation of the subgrade shall, by rough grading and filling provide a base that will allow the planting of growing medium to the specified depths. Finished subgrade surfaces shall be free of visible humus and hollows and provide for growing medium depths as laid out on the landscape plans.
 Debris, roots, branches, stones, building materials, contaminated soil, visible weeds and anything else that may interfere with the proper growth and development of the planned finished landscaping shall be removed.
 Areas showing excessive compaction shall be scarified to a minimum depth of 4" (50mm).
 All areas within landscape beds shall be surrounded by a minimum diameter of 2" (50mm) of drain rock to a depth of 4" (50mm) to prevent much leaching into drainage system.

SITE PROTECTION

All existing and new plants, site services, curbs, paving, structures, fixtures and all other features shall be protected against damage during the work. Damage shall be reported and shall be completely repaired to the satisfaction of the Authority / Inspector.

ESTABLISHMENT MAINTENANCE

The intent of establishment maintenance is to provide sufficient care to newly installed plant material for a period of one year from acceptance to ensure or increase the long-term success of the planting. The objective is the establishment of plants to a new site in order to obtain the desired effect from the planting while reducing the risk of failure and unnecessary work associated with improper establishment.
 Establishment maintenance procedures apply to all vegetation including:
 1. Existing trees, shrubs
 2. New trees, shrubs, and groundcovers
 Maintenance during the one-year guarantee period is essential to ensure the viability of any guarantee.

GUARANTEE

The customary one year guarantee period for the construction industry is accepted as the standard for landscape work.
 The contractor shall guarantee all materials and workmanship for a period of one full year from the date of Substantial Performance (Acceptance).
 Inspections shall be called for in order to achieve Substantial Performance.

INSPECTIONS TO BE CALLED FOR:

- FIRST INSPECTION** to be called for after irrigation has been installed but prior to backfilling.
 - SECOND INSPECTION** to be called for after subgrade preparation and soil has been placed. Other plants have been laid out, but prior to staking.
 - THIRD INSPECTION** to be called for, once completed.
- Once the plan has been approved by the City, no changes may be made to the plan without written approval of both the designer and the City.

PRESERVATION OF EXISTING HEDGE

Physical protection barriers shall be erected 35m from the property line before any work (including clearing and grubbing) occurs on site.
 Hedge shall be fenced off by means of a plastic urine fence of at least 1.2 meters height mounted on solid or sturdy wooden posts that include top and bottom rail.
 Fence posts should be placed no further than 2.4m apart.
 Signs should be provided in association with protection fencing at regular intervals around areas designated for preservation.
 Signs should describe the function of the fencing, i.e. "Tree Protection Area - No Entry"
 There shall be no passage of machinery of any kind through or within vegetation protection areas at any time, including the demolition and site preparation phases.
 There shall be no staking of soils, fill, sand, gravel or other excavated materials within the vegetation protection areas at any time, including the demolition and site preparation phases.

IRRIGATION

Irrigation plans to be design / build at time of construction.

GENERAL

Scope of work:
 Supply and install the components required to provide a properly operating irrigation system to cover the applicable landscape.

Obtain a scaled design of the proposed irrigation system which meets IABC Standards.
 Obtain properly informed agreement from the owner's representatives as to the inclusion or not of landscape features in the design which exceed IABC Design Standards and/or are site specific.
 Quality Assurance
 All irrigation work shall be done by a suitably experienced and qualified irrigation contractor, having trained and competent personnel adequate for the scope of work.
 The contractor shall be a member in good standing of the Irrigation Industry Association of BC and have met the qualification standards currently applied to contractors by that organization.
 A written guarantee of the installed system shall be provided to the owner covering workmanship and materials for a minimum of one year.

IRRIGATION

A suitably scaled as built drawing shall be provided.
 All components of the irrigation system shall be shown as installed with clear measurements from an identifiable reference point to the location of the controller and its circuit breaker, master valve, zone control valves, main water connection, blow out connection, pump and its electrical connections, and any other similar features.
 Provide a manual containing operating and maintenance instructions for all components of the system.
 Provide clear instructions for operating the irrigation system ("in season"), showing the routine timing differences between zones of different precipitation rates, and a schedule of run times established for various weather conditions.
 Provide any special tests as provided by the manufacturer for dry to dry servicing of the irrigation equipment installed.

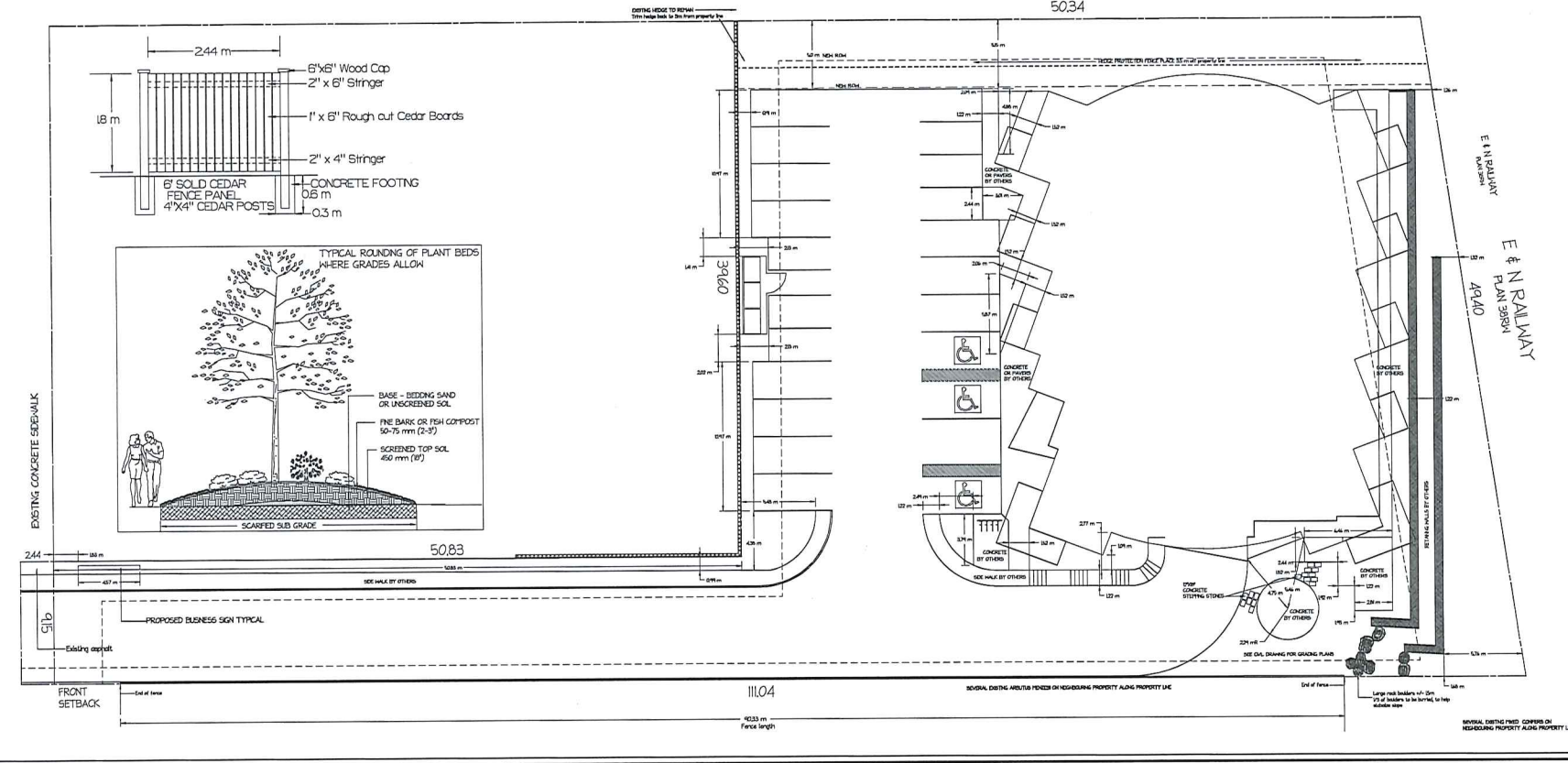
SOIL COMPOSITION FOR GROUND LEVEL PLANTING AREAS
TABLE 6-1533 "GROOPEED" AND "MODERATE" SOIL COMPOSITION

Percent of Dry Weight of Total Growing Medium

Coarse Gravel larger than 19mm, smaller than 40mm	0 - 1%
All Gravel larger than 2mm, smaller than 40mm	0 - 1%
Sand larger than 25mm, smaller than 20mm	0 - 10%
Silt larger than 200mm, smaller than 25mm	0 - 25%
Clay smaller than 200mm	0 - 25%
Clay and Silt combined	Minimum 15%
Organic content	0 - 20%

Addity (pH) 4.5 - 6.5
 Drainage Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate to heavy rain or irrigation.

BC ONE CALL
 Call Before You Dig
 1-800-474-6886
 Cellular #6886



BC LANDSCAPE STANDARDS
 All construction to meet the requirements as set out in the BC Landscape Standards, 2002 edition prepared by the BC Society of Landscape Architects and the BC Landscape and Nursery Association jointly.
 Copies of the BC Landscape Standards are available through the BC/LNA office at 1-604-674-7772
 Contractor to consult with designer regarding any discrepancies.
 Contractor to consult with designer if strict substitutions are required due to availability.
 Contractor is responsible for obtaining written confirmation of utility locations prior to commencing design.
 Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from acceptance of landscape.
 Refer to landscape specifications supplied with this plan.
 If you did not receive the specifications, please contact the designer.

TOP SOIL REQUIREMENTS
 Minimum depth for shrub beds 450mm (18")
 Minimum depth for groundcover 150mm (6")
 Trees as per detail on these drawings.
 Minimum depth for mulch 65-75mm (2.5-3")

LANDSCAPE AREA

TREESHURUB AREA	5681 sqm	623 sqft
RIVER ROCK AREA	1256 sqm	135 sqft
PATIO AREA	4071 sqm	436 sqft
LANDSCAPE AREA	62337 sqm	67499 sqft

FENCE = 90.33m

PROJECT: LONG LAKE BUSINESS CENTRE
 Titled the (O.P.S. Residential)
 O.C. address 4474 Westport Rd, Nanaimo
 Legal address 141, 8 Plan BSM, Section 5, Westport District

CLIENT: OSETPA BC LTD.
 Techfield Contracting Ltd.
 c/o Hoyme Peak
 info@techfield.com
 250-758-6490

ARCHITECT: DARYOUSH FROUZJI ARCHITECTURE INC.
 445 DUNDAS ROAD
 NANAIMO, BC V9Y 1K3

LANDSCAPE DESIGNER:
 MYSTIC WOODS
 LANDSCAPE DESIGN
 4737 Gordon Rd
 Campbell River, B.C. V9H 1T3
 phone 250-286-8227
 cell phone 250-287-0600
 design@mysticwoods.ca

DRAWN BY:
 Corinne Freshman CLD, HT
 Certified Landscape Designer
 Horticultural Technician
 Member of the BC/LNA / CLNA



RECEIVED
DP1133
2019-SEP-16
 CONSULT RECEIVED

SCALE: 1:150

DATES: November 22, 2016
 Issued for Nov. 26, 2016 For review
 Issued for Jan 12, 2019 For review
 Issued for Feb 1, 2019 For review
 Issued for March 1, 2019 For Development Permit
 Issued for Sept 5, 2019 For Development Permit

DRAWING: LANDSCAPE DIVISION PLAN
DRAWING #: L3 of 3